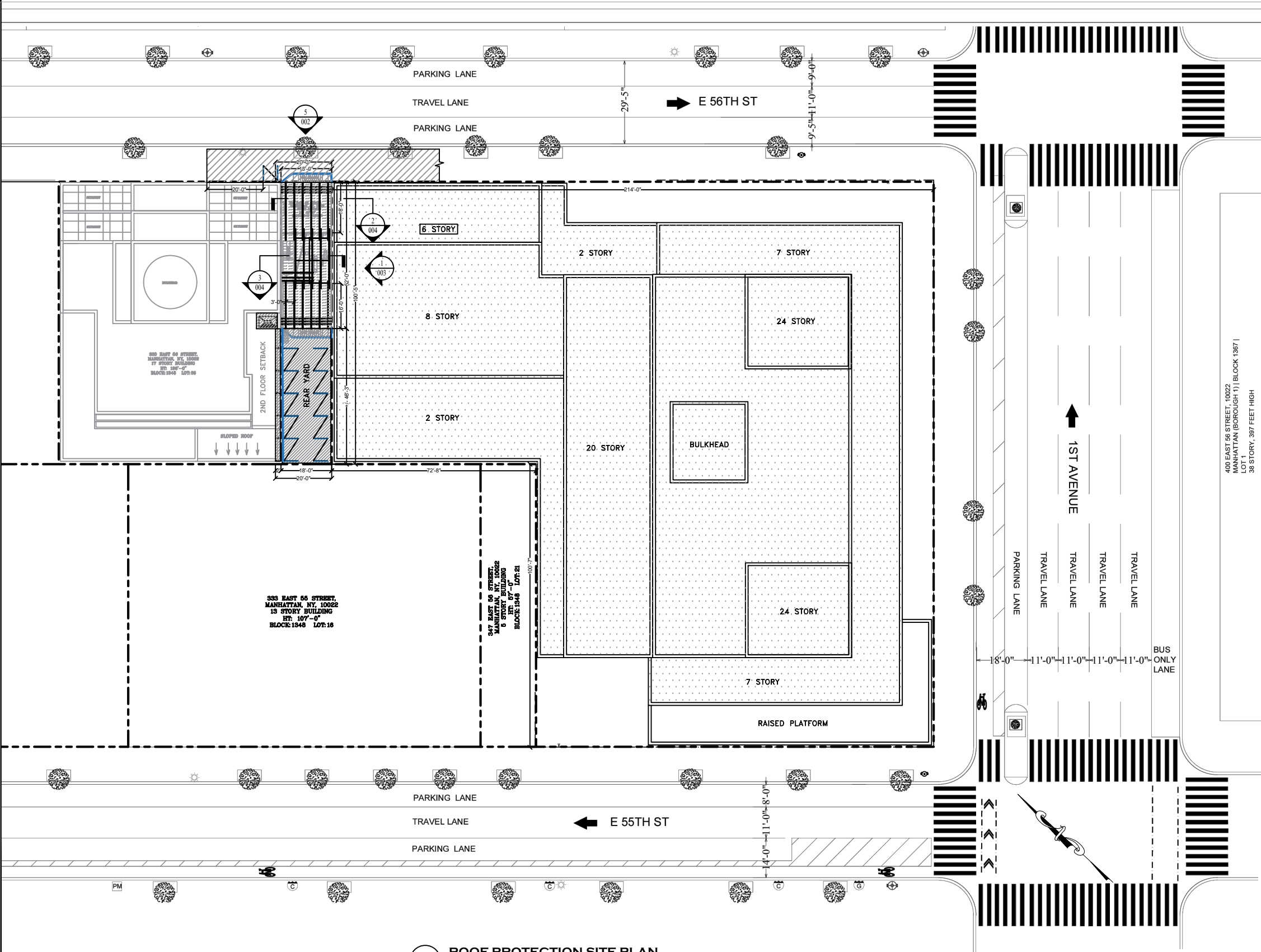


336 EAST 56 STREET MANHATTAN, NY, 10022
(ROOF / WINDOW / FIRE ESCAPE PROTECTION PLAN)



ROOF PROTECTION SITE PLAN

LEGEND:

ROOF PROTECTION: [Symbol]

PROPERTY LINE: [Symbol]

WINDOW / FIRE ESCAPE PROTECTION: [Symbol]

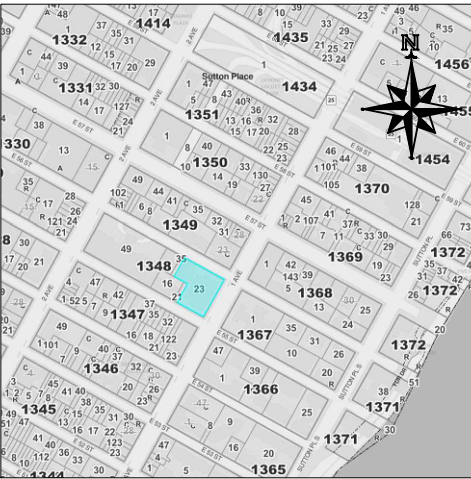
OVERHEAD PROTECTION SHED: [Symbol]

PIPE SCAFFOLD UNDER SEPARATE APPLICATION: [Symbol]

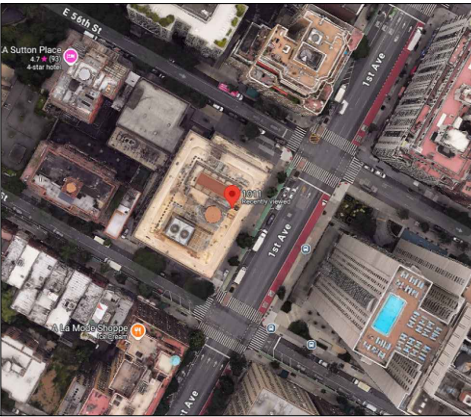
SIDEWALK SHED UNDER SEPARATE APPLICATION: [Symbol]



KEY MAP



DIGITAL TAX MAP



AERIAL VIEW

DESIGNER /CONSULTANT:

KD DESIGNS

Tel: 1 (646)327-9555
E-mail: karim@KDEngineersNY.com
Website: www.kdengineersny.com

CONTRACTOR:

ARSENAL

ENGINEER:

ERIC FOSTER, PE
ASHRAF CORPORATION
85-75 SANTIAGO STREET,
JAMAICA, NY, 11423

SIGN AND SEAL:

Professional Engineer Seal for Eric Foster, State of New York, License No. 072042.

DOB APPROVED STAMP:

NO	DESCRIPTION	DATE

PROJECT

**336 EAST 56 STREET,
NEW YORK, NY, 10022**

TITLE

**ROOF PROTECTION
SITE PLAN**

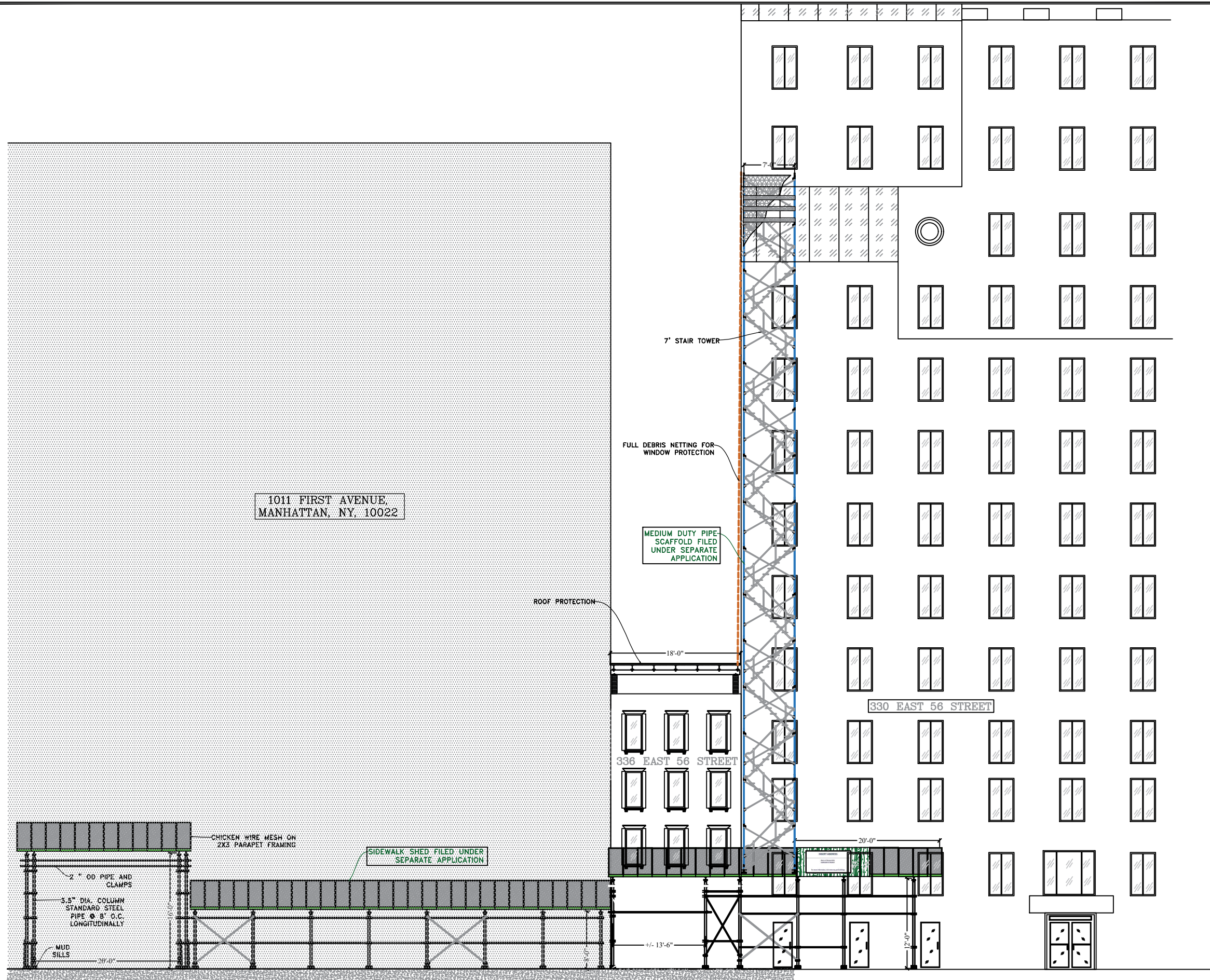
DATE:	ZONING MAP:	ZONING DISTRICT:
12.23.2025	8D	R10

DRAWN BY:	CHECKED BY:	BLOCK: 1348 LOT: 35
Karim	Mike C	

DWG. NO.

EQ-001.00
1 OF 5

DOB NOW JOB #:



5 ELEVATION VIEW (TYP.)
ADJACENT PROTECTION @ EAST 56 STREET

DESIGNER /CONSULTANT:
KD DESIGNS
Tel: 1 (646)327-9555
E-mail: karim@KDEngineersNY.com
Website: www.kdengineersny.com

CONTRACTOR:
ARSENAL

ENGINEER:
ERIC FOSTER, PE
ASHRAF CORPORATION
85-75 SANTIAGO STREET,
JAMAICA, NY, 11423

SIGN AND SEAL:

DOB APPROVED STAMP:

NO	DESCRIPTION	DATE

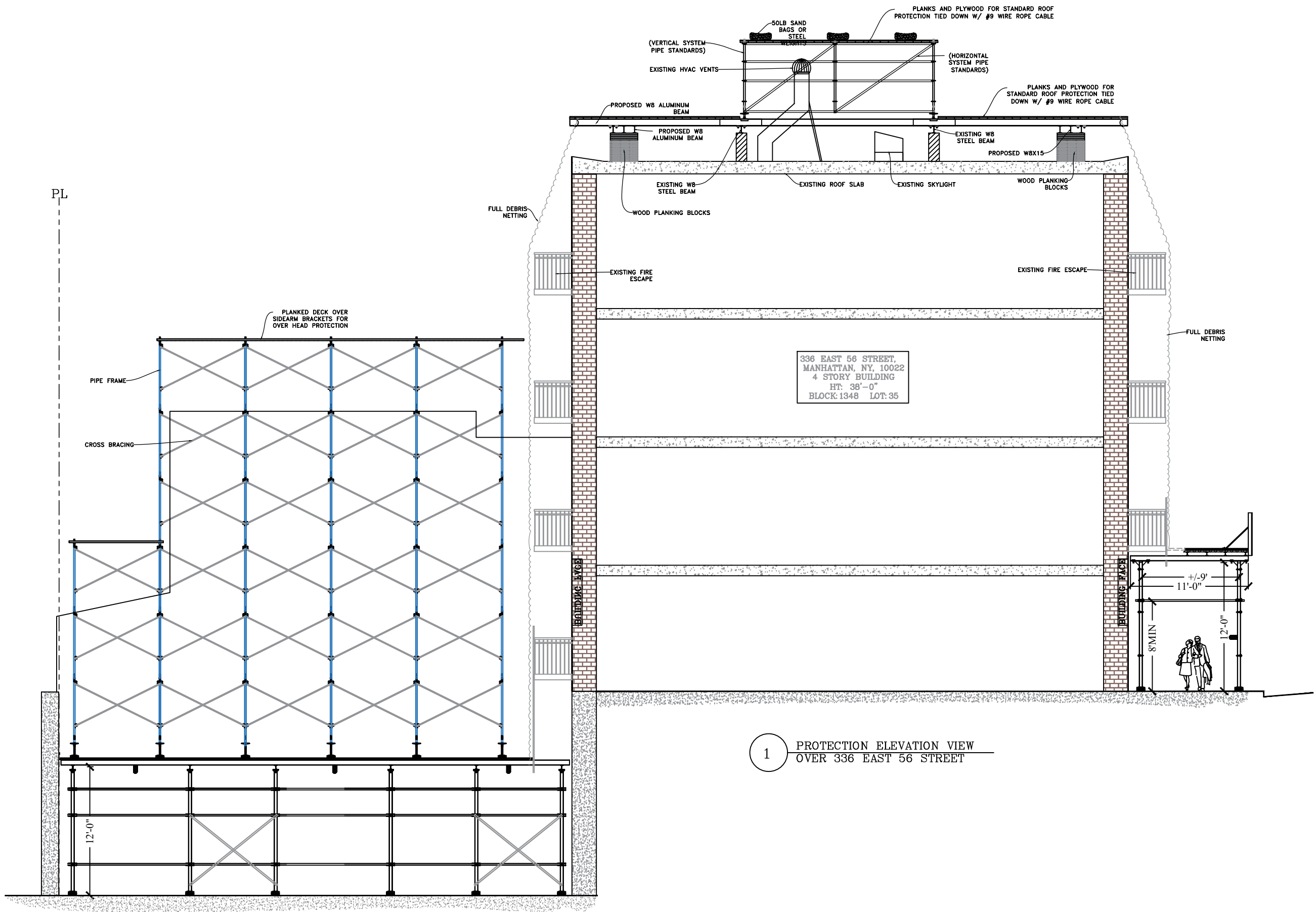
PROJECT
336 EAST 56 STREET,
NEW YORK, NY, 10022

TITLE
ELEVATION VIEW
@ EAST 56 STREET

DATE: 12.23.2025	ZONING MAP: 8D	ZONING DISTRICT: R10
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DRAWN BY: Karim	CHECKED BY: Mike C	BLOCK: 1348 LOT: 35
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DWG. NO.
EQ-002.00
2 OF 5
DOB NOW JOB #:

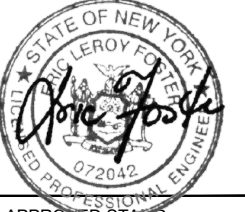


1 PROTECTION ELEVATION VIEW
OVER 336 EAST 56 STREET

DESIGNER /CONSULTANT:
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CONTRACTOR:
ARSENAL

ENGINEER:
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ASHRAF CORPORATION
85-75 SANTIAGO STREET,
JAMAICA, NY, 11423

SIGN AND SEAL:

DOB APPROVED STAMP:

NO	DESCRIPTION	DATE

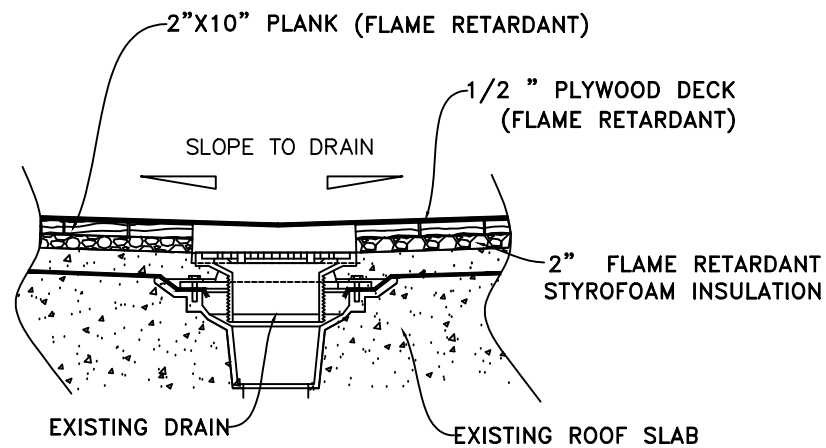
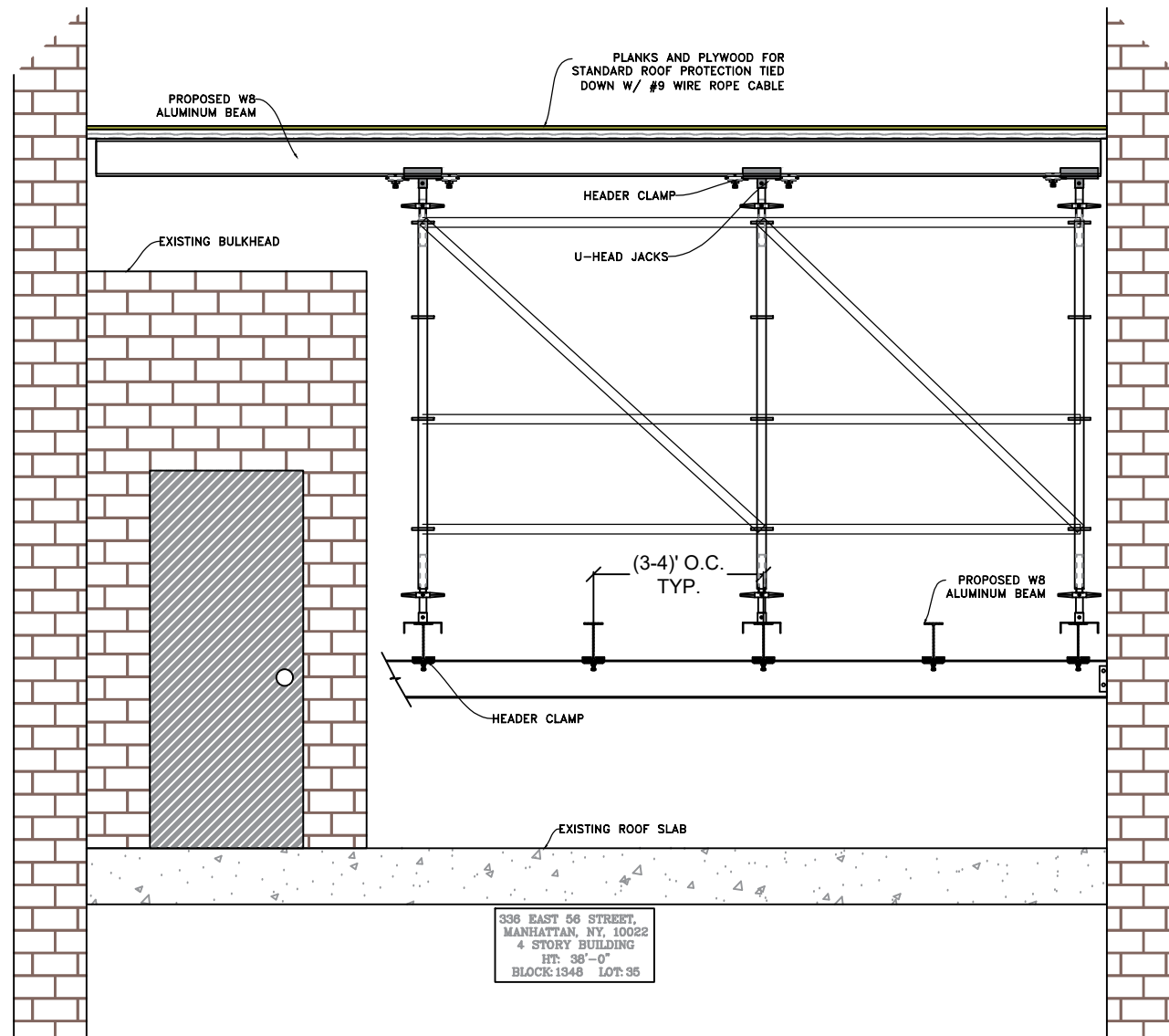
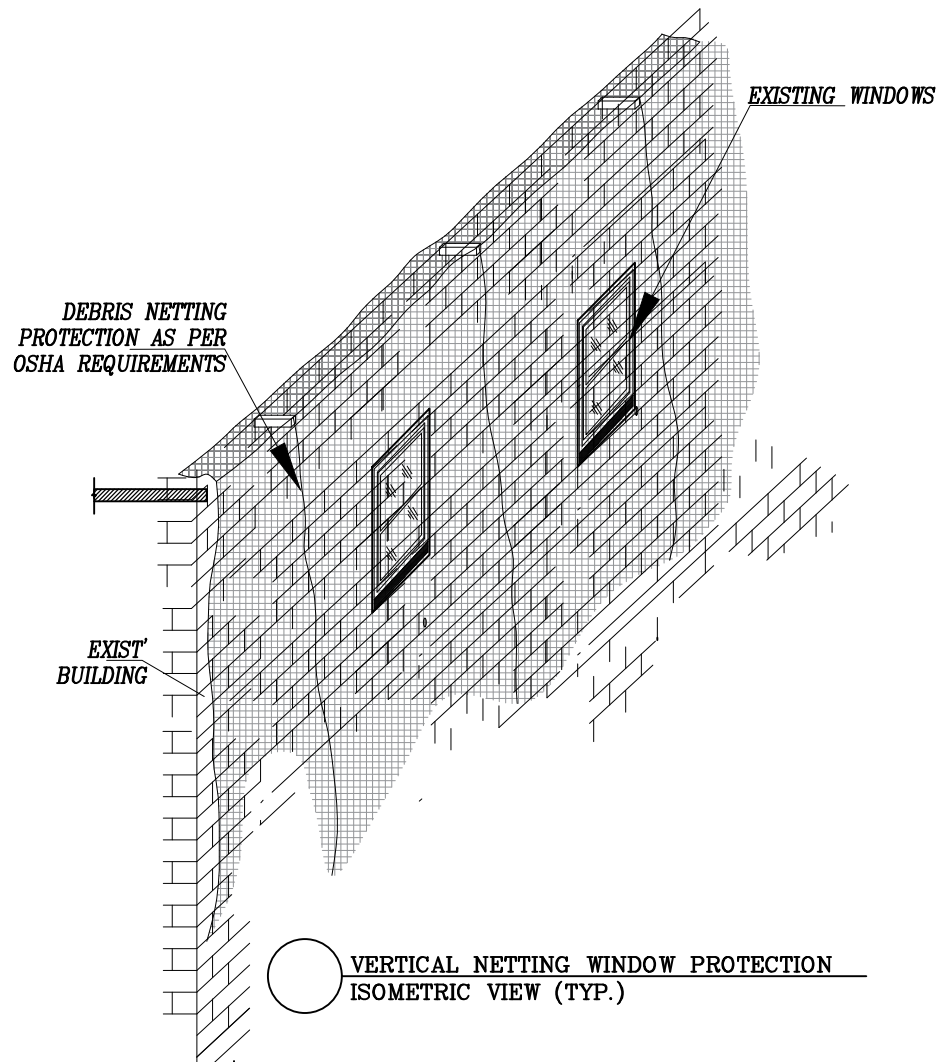
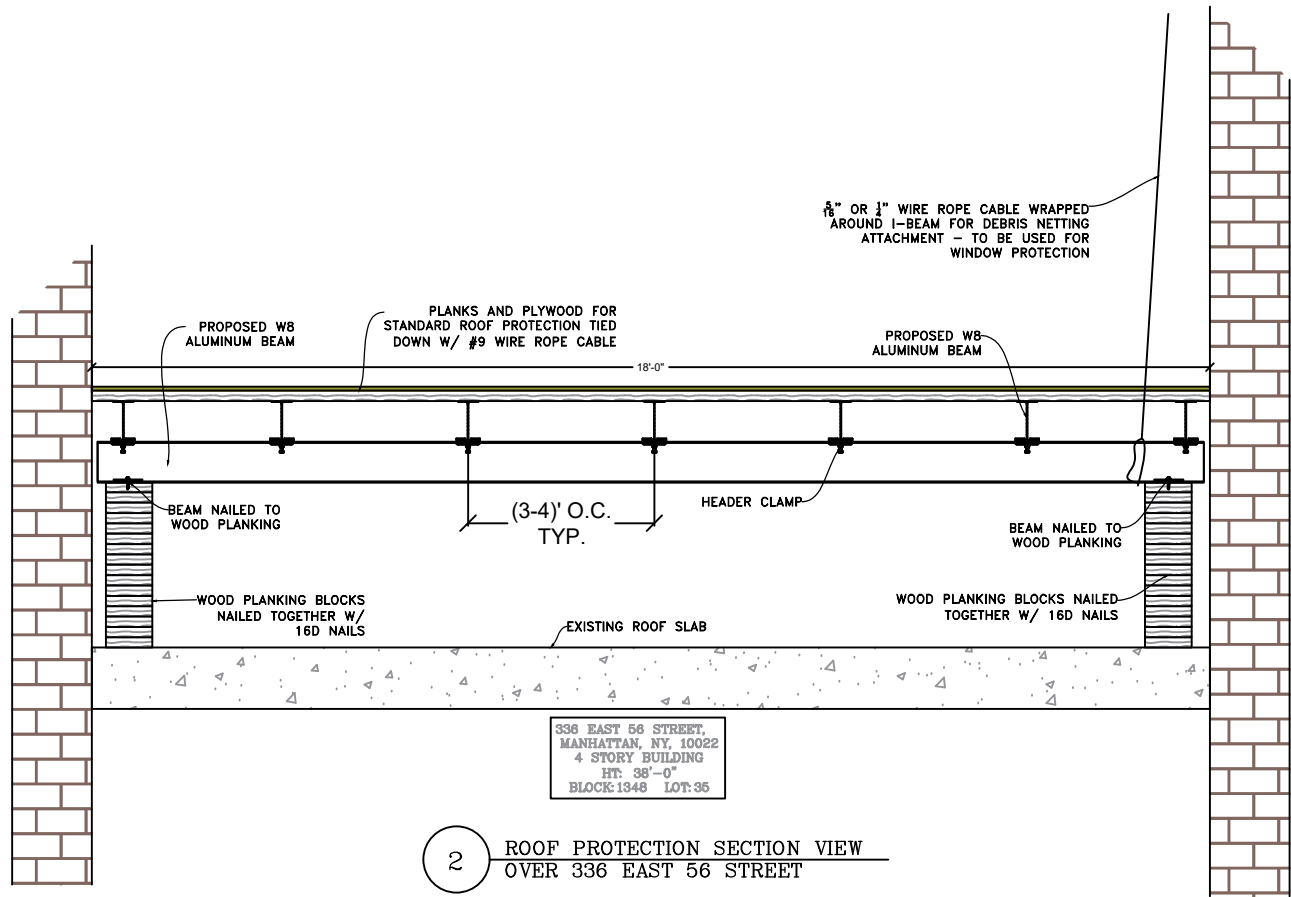
PROJECT
**336 EAST 56 STREET,
NEW YORK, NY, 10022**

TITLE
**336 EAST 56 STREET ROOF
PROTECTION DETAIL**

DATE: 12.23.2025	ZONING MAP: 8D	ZONING DISTRICT: R10
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DRAWN BY: Karim	CHECKED BY: Mike C	BLOCK: 1348 LOT: 35
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DWG. NO.
EQ-003.00
3 OF 5
DOB NOW JOB #:



DESIGNER /CONSULTANT:

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CONTRACTOR:

ARSENAL

ENGINEER:

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JAMAICA, NY, 11423

SIGN AND SEAL:

STATE OF NEW YORK
ERIC FOSTER
072042
REGISTERED PROFESSIONAL ENGINEER

DOB APPROVED STAMP:

NO	DESCRIPTION	DATE

PROJECT

**336 EAST 56 STREET,
NEW YORK, NY, 10022**

TITLE

**ROOF & WINDOW
PROTECTION DETAILS**

DATE: 12.23.2025	ZONING MAP: 8D	ZONING DISTRICT: R10
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DRAWN BY: Karim	CHECKED BY: Mike C	BLOCK: 1348 LOT: 35
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DWG. NO.

EQ-004.00
4 OF 5

DOB NOW JOB #:

NYC DOB CODE– CHAPTER 33:

3309.10 PROTECTION OF ROOFS.WHENEVER ANY BUILDING IS TO BE CONSTRUCTED OR DEMOLISHED ABOVE THE ROOF OF AN ADJOINING BUILDING, IT SHALL BE THE DUTY OF THE PERSON CAUSING SUCHWORKTO PROTECT FROM DAMAGE AT ALL TIMES DURING THE COURSE OF SUCH WORK AND AT HIS OR HER OWN EXPENSE THE ROOF, SKYLIGHTS,OTHER ROOF OUTLETS, AND EQUIPMENT LOCATED ON THE ROOFOF THE ADJOINING BUILDING, AND TO USE EVERY REASONABLE MEANS TO AVOID INTERFERENCE WITH THE USE OF THE ADJOINING BUILDING DURING THE COURSE OF SUCH WORK, PROVIDED SUCHPERSON CAUSING SUCH WORK IS AFFORDED A LICENSE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 3309.2 TO ENTER AND INSPECT THE ADJOINING BUILDING AND PERFORM SUCH WORK THEREON AS MAY BE NECESSARY FOR SUCH PURPOSE; OTHERWISE, THE DUTY OF PROTECTING THE ROOF, SKYLIGHTS,OTHER ROOF OUTLETS, AND EQUIPMENT ON THE ROOFOF THE ADJOINING BUILDING SHALL DEVOLVE UPON THE OWNER OF SUCH ADJOINING BUILDING.ADJJOINING ROOF PROTECTION SHALL BE SECURED TO PREVENT DISLODGEEMENT BY WIND. WHERE CONSTRUCTION OR DEMOLITION WORK OCCURS AT A HEIGHT OF AT LEAST 48 INCHES (1219 MM) ABOVE THE LEVEL OF THE ADJOINING ROOF, ADJOINING ROOF PROTECTION SHALL CONSIST OF 2 INCHES (51 MM) OF FLAME–RETARDANT FOAM UNDER 2 INCHES (51 MM) OF FLAME–RETARDANT WOOD PLANK LAID TIGHT AND COVERED BY FLAME–RETARDANT PLYWOOD, OR SHALL CONSIST OF EQUIVALENT PROTECTION ACCEPTABLE TO THE COMMISSIONER, AND SHALL EXTEND TO A DISTANCE OF AT LEAST20 FEET (508 MM) FROM THEEDGE OF THE BUILDING BEING CONSTRUCTED OR DEMOLISHED

3309.13 PROTECTION OF ADJOINING EQUIPMENT AND SPACES.WHENEVER A MAJOR BUILDING IS CONSTRUCTED OR DEMOLISHED, AND PROVIDED SUCH WORK REQUIRES A SITE SAFETY PLAN IN ACCORDANCE WITH SECTION 3310, IT SHALL BE THE DUTY OF THE PERSON CAUSING SUCH WORK TO PROTECT FROM DAMAGE, AT ALL TIMES DURING THE COURSE OF SUCH WORK AND AT HIS OR HER OWN EXPENSE, ALL MECHANICAL, ELECTRICAL, AND SIMILAR EQUIPMENT ON THE ADJOINING PROPERTY THAT ARE WITHIN 20 FEET (508 MM) FROM AN UNENCLOSED PERIMETER OF THE MAJOR BUILDING, AND TO PROTECT ALL PUBLICALLY ACCESSIBLE SPACES ON THE ADJOINING PROPERTY THAT ARE WITHIN 20 FEET (508 MM) FROM AN UNENCLOSED PERIMETER OF THE MAJOR BUILDING, AND ALSO TO USE EVERY REASONABLE MEANS TO AVOID INTERFERENCE WITH THE USE OF SUCH EQUIPMENT AND SPACES DURING THE COURSE OF SUCH CONSTRUCTION OR DEMOLITION WORK, PROVIDED SUCH PERSON CAUSING SUCH WORK IS AFFORDED A LICENSE IN ACCORDANCEWITH THE REQUIREMENTS OF SECTION 3309.2 TO ENTER AND INSPECT THE ADJOINING PROPERTY AND PERFORM SUCH WORK THEREON AS MAY BE NECESSARY FOR SUCH PURPOSE; OTHERWISE, THE DUTY OF PROTECTING SUCH ADJOINING EQUIPMENT AND SPACES SHALL DEVOLVE UPON THE OWNER OF SUCH ADJOINING PROPERTY.EXCEPTION: EQUIPMENT ON AN ADJOINING ROOF SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 3309.10

GENERAL CONSTRUCTION NOTES

- 1.ALL CONSTRUCTION WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE (LATEST EDITION), ALL APPLICABLE FEDERAL AND STATE CODES, STANDARDS, REGULATIONS AND LAWS. ANY INFORMATION CONTAINED IN THESE DRAWINGS THAT DIFFER FROM STANDARD PRACTICE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- 2.THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES AS WELL AS THE SAFETY OF THE PUBLIC. THE CONTRACTOR SHALL PERFORM THEIR WORK IN STRICT COMPLIANCE WITH ALL SAFETY AND HEALTH LAWS AND REGULATIONS BUT NOT LIMITED TO THE MOST RECENT EDITIONS OF OSHA, THE NEW YORK STATE INDUSTRIAL CODE AND SUB–CHAPTER 33 OF THE NEW YORK CITY BUILDING CODE. ALL THE REQUIRED SIGNAGE, BARRICADES, SIDEWALK BRIDGE, SCAFFOLDING, ETC. SHALL BE PROVIDED WHEN REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- 3.NO WORK SHALL COMMENCE ON THIS PROJECT UNTIL ALL NECESSARY PERMITS ARE OBTAINED. THE CONTRACTOR SHALL COMPLY WITH ALL THE PROVISIONS INDICATED IN SUB–CHAPTER 1 OF THE NEW YORK CITY BUILDING CODE REGARDING PERMITS AND NOTIFY ALL PARTIES REQUIRED IN THE AFOREMENTIONED PROVISIONS. THE CONTRACTOR MUST ALSO PROCURE AND MAINTAIN ALL REQUIRED INSURANCES.
- 4.THE CONTRACTOR SHALL NOT SCALE OFF DRAWINGS, ALL WRITTEN DIMENSION SHALL HAVE PRECEDENCE OVER GRAPHIC DIMENSION.
- 5.ALL PROPRIETARY MATERIALS, COMPONENTS AND SYSTEMS ON THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER’S RECOMMENDATIONS.
- 6.WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.
- 7.THE CONTRACTOR SHALL MAKE NO DEVIATION FROM THE DESIGN DRAWINGS WITHOUT THE WRITTEN APPROVAL FROM THE ENGINEER/ARCHITECT FOR ANY WORK REQUIRED THAT IS NOT SPECIFIED IN THESE DRAWINGS & SHALL BE COORDINATED WITH THE ENGINEER OR ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
- 8.THE CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR THE SAFETY OF THE EXISTING STRUCTURES DURING THE ENTIRE CONSTRUCTION PERTAINING ONLY TO THE INSTALLATION OF THE WORK SHOWN HEREIN, AND SHALL TAKE ADEQUATE PRECAUTION TO PREVENT DAMAGE TO THE EXISTING STRUCTURAL AND ARCHITECTURAL ELEMENTS. IF ANY DAMAGES TO SAME ELEMENTS OCCUR, THEY SHALL BE RECTIFIED TO THE ENTIRE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
- 9.THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THE INTERIOR OF THE BUILDING AND ALL CONTENTS FROM WEATHER DURING THE CONSTRUCTION PERIOD.
10. THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE SAFETY OF ADJACENT STRUCTURES.
11. THE CONTRACTOR SHALL INSTALL AND/OR MAINTAIN THE PROPER FIRE PROTECTION ON ALL WORK EITHER INSTALLED OR ALTERED BY THEIR OPERATIONS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL GUIDELINES.
12. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH ALL NOISE ORDINANCES MANDATED BY THE CITY OF NEW YORK. IF WORK IS TO BE PERFORMED OUTSIDE NORMAL WORKING HOURS, PROPER PERMITS ARE TO BE SECURED BY THE CONTRACTOR BEFOREHAND.
13. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE LANDLORD’S RULES AND REGULATIONS.
14. ANY AREA EXPOSED TO THE ELEMENTS BY THE CONTRACTOR SHALL BE MADE 100% WATERPROOF PRIOR TO LEAVING THE PROJECT SITE. ANY DAMAGE RESULTING FROM THE CONTRACTOR’S FAILURE TO DO SO SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
15. THE ARCHITECT/ENGINEER OF RECORD HAS NOT BEEN RETAINED FOR SUPERVISION OF CONSTRUCTION WORK, QUALITY AND METHOD OF CONSTRUCTION AND ASSUMES NOT RESPONSIBILITY FOR THE PERFORMANCE OF WORK.
16. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ARCHITECT FROM ALL CLAIMS, INJURIES, AND DAMAGES RESULTING FROM ANY WEATHER AND/OR NATURAL OCCURRANCES / ACTS OF GOD, ETC. SUCH AS WIND, FLOODS, OR EARTHQUAKES, ETC. THE CONTRACTOR SHALL SECURE AND MAKE SAFE. ANY SHEDS AND/OR SCAFFOLDS, INCLUDING PROTECTIVE NETTING, BEFORE AND DURING SUCH NATURAL OCCURRANCES, ESPECIALLY IF PRIOR WARNING OF THESE NATURAL OCCURRANCES HAS BEEN ISSUED.

TENANT’S SAFETY NOTES:

1. GENERAL: ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK CITY BUILDING CODE ARTICLE 19 AND ALL OTHER REGULATIONS OF ALL OTHER ARTICLES.
2. STRUCTURES:

a) CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHERE EVER ANY STRUCTURAL WORK IS INVOLVED.

b) ALL DEMOLITION OPERATIONS, REPAIR OPERATIONS AND ALTERATION OPERATIONS TO BE DONE IN ACCORDANCE WITH THE NYC BUILDING CODE, ARTICLE 19, SUB–ARTICLE 1905.0 AND 1906.0.
3. MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FROM THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
4. FIRE SAFETY:

a) ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA AND IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.

b) ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION.

c) ALL FLAMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURER’S CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT.

d) ALL FLAMABLE POWER TO BE USED AND STORED IN ADEQUATELY VENTILATED SPACE.

e) ALL ELECTRIC POWER TO BE SHUT OFF WHERE THERE IS EXPOSED CONDUIT.

f) ALL ELECTRIC POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS.

g) CONTRACTOR AT ALL TIMES TO ENSURE THERE IS NO LEAKAGE OF NATURAL GAS IN THE BUILDING OR ANY FLAMABLE GAS USED IN CONSTRUCTION.
5. DUST CONTROL:

a) DEBRIS, DUST AND DIRT TO BE KEPT IN A MINIMUM AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.

b) CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM OCCUPIED BUILDING BY MEANS OF TEMPORARY PARTITIONS OR HEAVY WEIGHT DROP CLOTHS.

c) DEBRIS, DIST ARE TO BE CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION.
6. NOISE AFTER HOURS:

a) WORK TO BE DONE DURING REGULAR WORKING HOURS MONDAY THRU FRIDAY, 7:00 AM TO 4:45 PM AND SATURDAYS FROM 9:00 AM TO 5:00 PM ONLY WITH AN AFTER HOUR VARIANCE WORK PERMIT ISSUED BY THE NYC DEPARTMENT OF BUILDINGS.

7. NO ONE TO OCCUPY THE SPACE DURING CONSTRUCTION.

DESIGNER /CONSULTANT:



KD DESIGNS

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E-mail: karim@KDEngineersNY.com
Website: www.kdengineersny.com

CONTRACTOR:



ENGINEER:

ERIC FOSTER, PE
ASHRAF CORPORATION
85-75 SANTIAGO STREET,
JAMAICA, NY, 11423

SIGN AND SEAL:



DOB APPROVED STAMP:

NO	DESCRIPTION	DATE

PROJECT

**336 EAST 56 STREET,
NEW YORK, NY, 10022**

TITLE

GENERAL NOTES

DATE:	ZONING MAP:	ZONING DISTRICT:
12.23.2025	8D	R10
DRAWN BY:	CHECKED BY:	BLOCK: 1348
Karim	Mike C	LOT: 35

DWG. NO.

EQ-005.00
5 OF 5

DOB NOW JOB #: