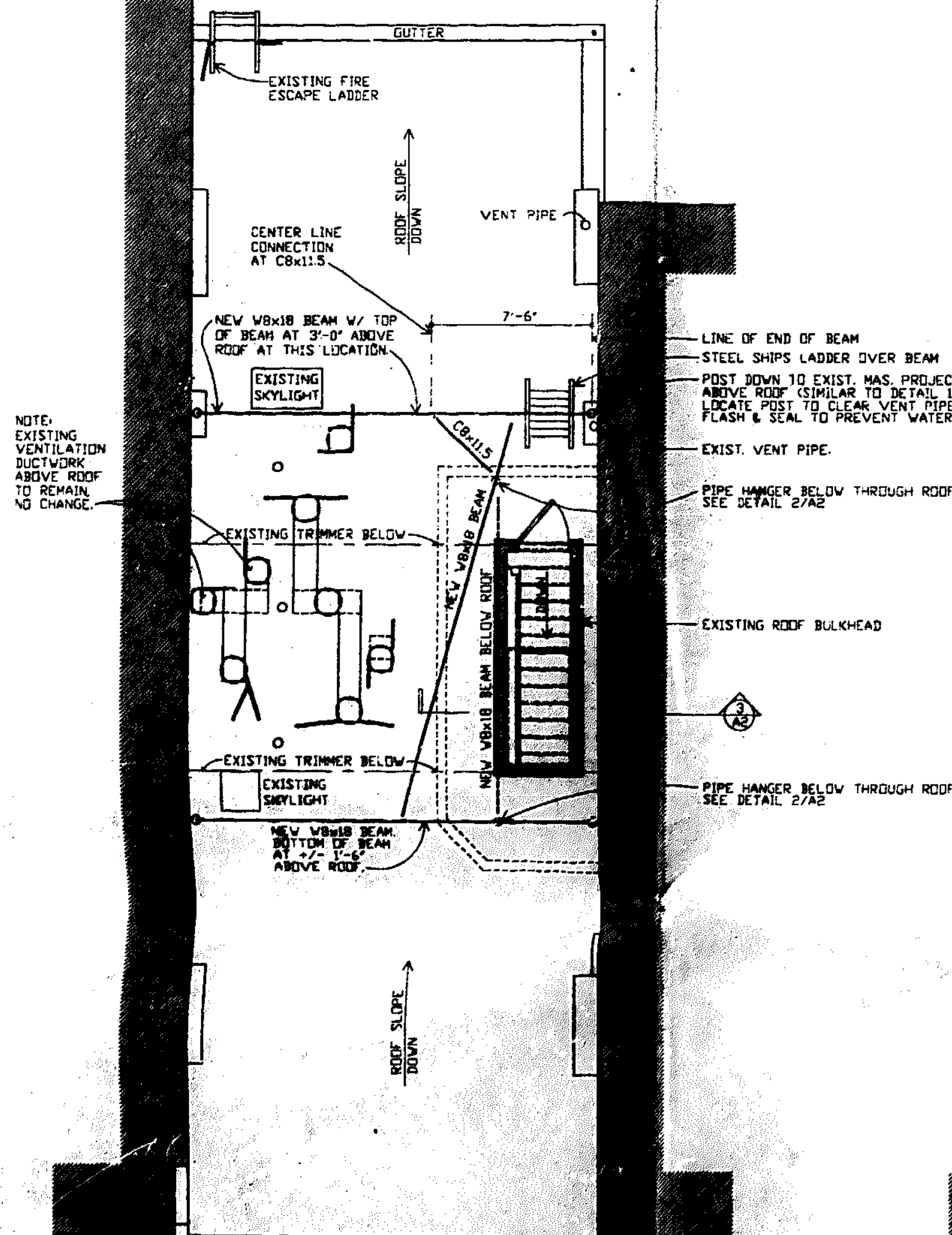
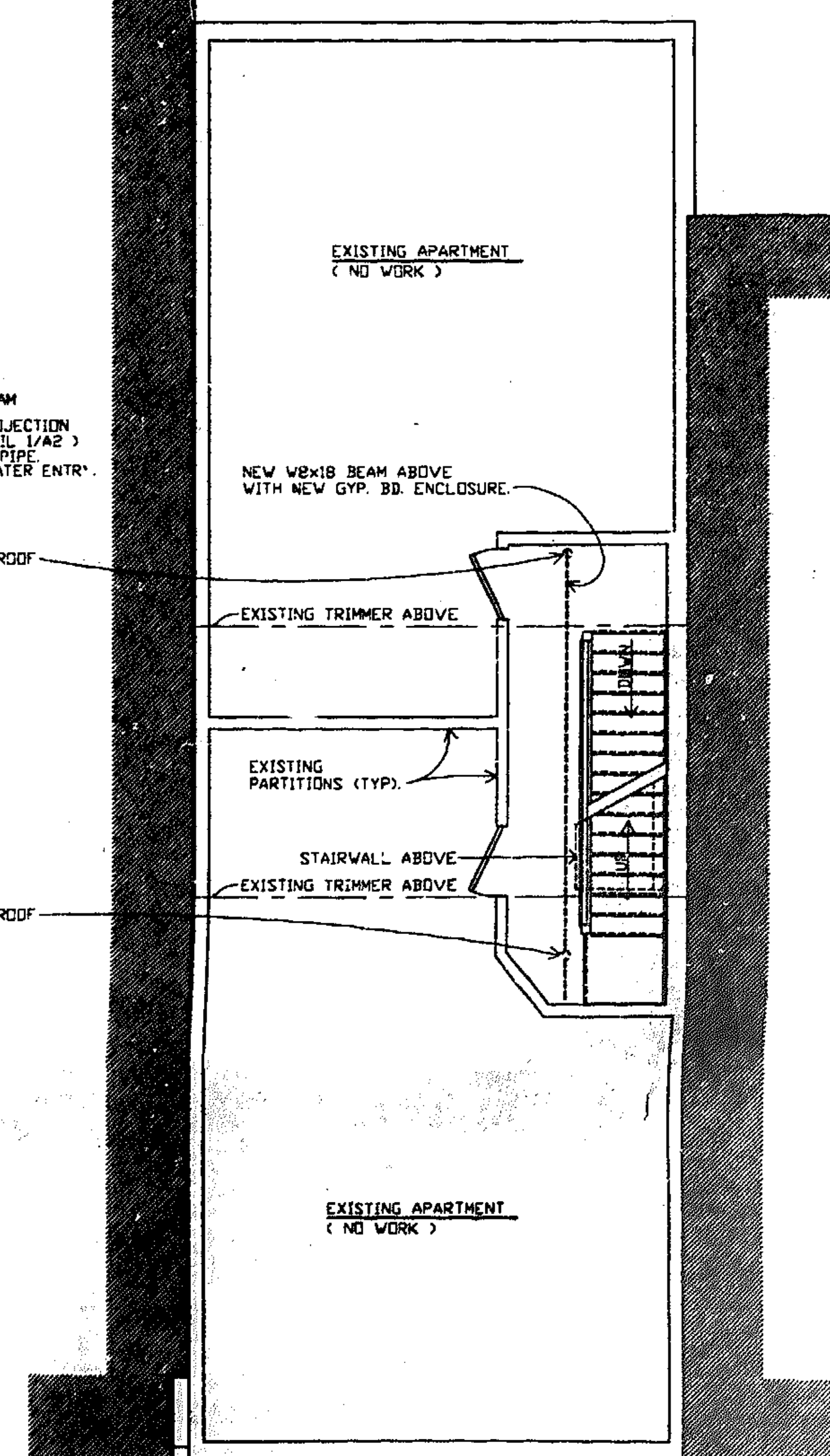
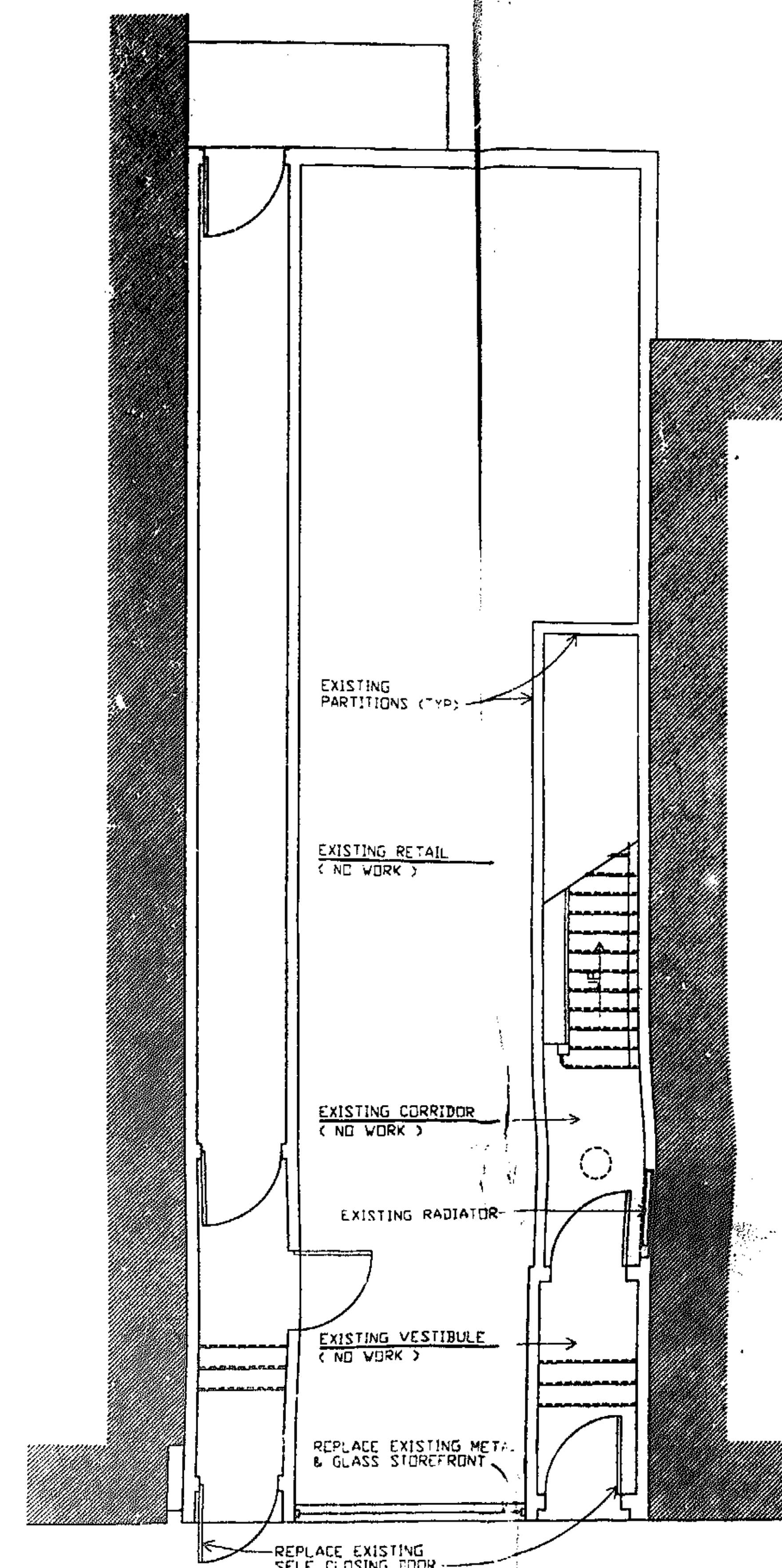




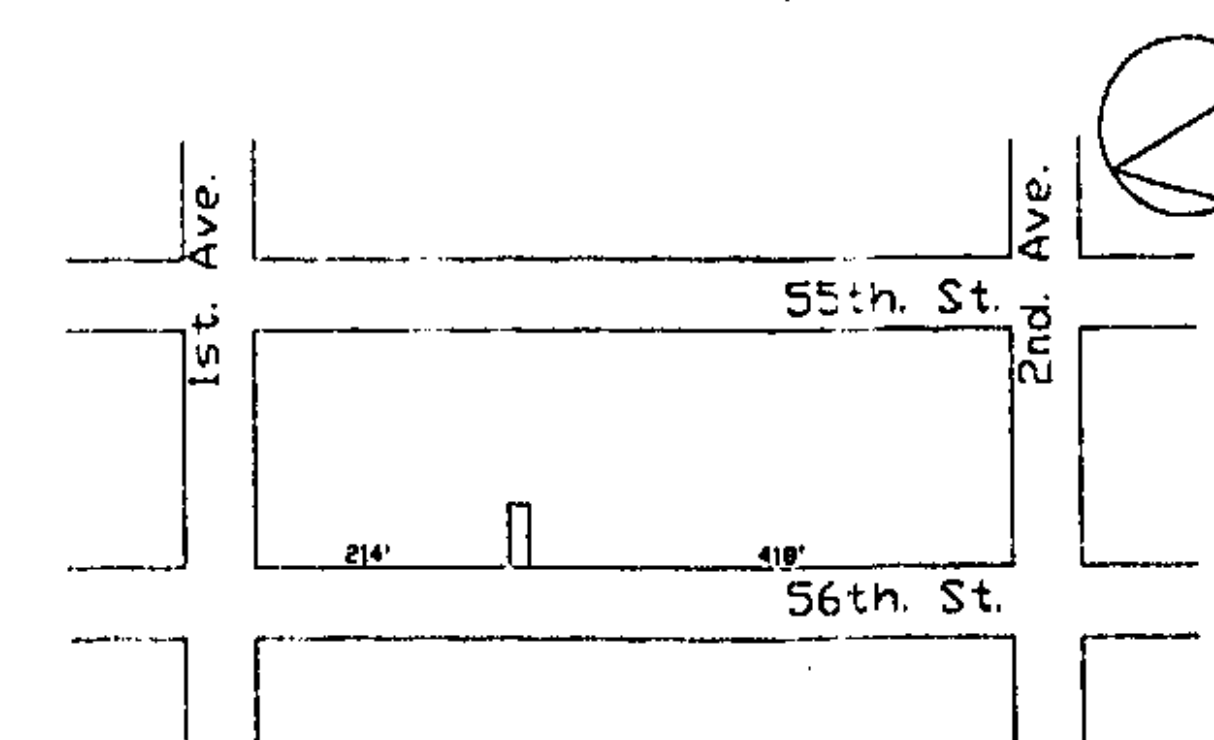
1 ROOF PLAN
SCALE: 1/4" = 1'-0"
(NO CHANGE TO EGRESS, USE, OR OCCUPANCY)



2 FOURTH FLOOR CORRIDOR PLAN
SCALE: 1/4" = 1'-0"
(NO CHANGE TO EGRESS, USE, OR OCCUPANCY)



3 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
(A SEPARATE FENCE APPLICATION WILL BE FILED.)



4 LOCATION PLAN
SCALE: 1" = 200'

REVISION RECORD		
Date	No.	Description
12/22/94	1	TO EXISTING FOR FILING
12/22/94	2	TO ARCHITECT FOR BID
12/22/94	3	TO P. NAUGHTON FOR BID

REVISION RECORD		
Date	No.	Description
1/13/95	4	STOREFRONT AND DOOR REPLACEMENT

101236191
DEPARTMENT OF BUILDINGS

STONEHILL & TAYLOR
ARCHITECTS AND PLANNERS
270 LAFAYETTE STREET NEW YORK NY 10012
386 EAST 56th. ST.

PROPOSED STRUCTURAL REPAIRS

PLANS

Project No. 9424
Drawn By
Date: 12 / 22 / 94
Scale: 1/4" = 1'-0"

A1

GINIO TOPINO
JAN 18 1996
ACCEPTABLE FOR PERMIT
UNDER DIRECTIVE NO. 14/18/75

PROJECTS/STRUCTURAL/101-1/13/96

NOTES

GENERAL NOTES

- No change to egress, use or occupancy under this application.
- The Contractor shall comply with the requirements of the New York City Building Code, and all applicable regulations, rules and requirements, and the local laws and codes.
- Before commencing work, the Contractor shall file all required Certificates of Insurance with the Department of Buildings, obtain all required permits, and pay all fees required by governing New York City agencies.
- The Contractor shall verify all existing conditions in the field prior to commencing work and shall report any discrepancies between drawings and field conditions to the Architect.
- Minor details not usually shown or specified, but necessary for proper construction of any part of the work shall be included as if they were indicated in the drawings.
- The Contractor shall coordinate all work procedures with requirements of local authorities and building management.
- The Contractor shall be responsible for the protection of all conditions and materials within the proposed construction area. Design and install adequate shoring and bracing for all structural or removal tasks. The Contractor shall have sole responsibility for any damage or injuries caused by or during the execution of the work.
- The Contractor shall lay out the work area and shall provide all operations required for other trades.
- OMIT
- The Contractor shall do all cutting, patching, repairing as required to perform all of the work indicated on the drawings, and all other work that may be required to complete the job.
- All piping and wiring shall be removed to a point of concealment and shall be properly capped or plugged.
- All new door openings to be 36" wide typical (or larger).

TENANTS SAFETY PLAN

- General: All work to be done in accordance with the New York City Building Code, Article 19, and regulations of all other agencies having jurisdiction.
- Structural: Contractor to provide adequate temporary bracing and shoring wherever any structural work is involved.
- Means of Egress: All existing means of egress for tenants of the building to be maintained clear and free of all obstructions, such as building materials, tools, etc.
- Fire Safety: All building materials stored at construction area, and/or in any area of the building are to be secured in a locked area. Access to such areas to be controlled by Owner and/or General Contractor.
- Dust Control: Debris, dirt, and dust to be kept to a minimum, and be confined to the immediate construction area and be cleaned up and cleared from building periodically to avoid any excessive accumulation.
- Construction operations will not involve interruption of heating, water, or electrical services to other tenants of the building.
- Construction work will be confined to the proposed construction floor. Contractor will limit to the minimum the amount of dust, dirt, or other such inconveniences created to all other areas within the building.

CONTROLLED INSPECTIONS

The following items are subject to Controlled Inspection:

- Final inspection, per Directive 14/75
- Firestopping, as per 27-345.
- (Welding and high-strength bolts are NOT subject to controlled inspection, because calculated stresses in the welds and bolts are less than 50% of basic allowable values as per table 10-2)

LOCAL LAW #58/87 NOTES

- Proposed work to comply with applicable requirements of Local Law #58/87 for handicapped access.
- Controls and operating mechanisms shall be operable with one hand and shall not require tight grasping, pinching or twisting of the wrist, as per RS-4-6, 4.25.4.
- Required accessible routes to be provided by providing a minimum of 36" of width along the accessible route as per RS 4-6, 4.3.1, and a minimum of 32 inches of width at doorways, as per RS 4-6, 4.13.5.
- New emergency warning systems shall include both audible and visual alarms as per RS 4-6 4.26.2 and 4.26.3 respectively.
- Proposed storage facilities such as cabinets, shelves, closets, and drawers shall comply with applicable requirements of Local Law #58/87 and RS 4-6, 4.23.
 - Clear floor space of a minimum of 30 inches by 48 inches shall be provided for approach to all storage facilities.
 - Storage spaces shall comply with at least one of the reach ranges specified in RS 4-6, 4.25 and 4.26. A clothes rod a maximum of 54 inches from the floor shall be provided at each closet location.
 - Hardware for storage facilities shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist.

DEMOLITION NOTES

- Contractor shall perform all operations of demolition and removal indicated on the drawings and as may be required by the work. All work shall be done carefully and neatly, in a systematic manner.
- All existing surfaces and equipment to remain shall be fully protected from damage. The Contractor shall assume full responsibility for damage and shall make repairs required without additional cost to the Owner.
- No debris shall be allowed to accumulate on the site. Debris shall be removed by the Contractor as the job proceeds. The site shall be left broom clean at the completion of demolition.
- No structural elements shall be removed unless portions affected are adequately supported by either temporary shoring or new structural elements as required to protect the stability and integrity of the existing structure.
- All adjoining property affected by any operations of demolition shall be protected per the requirements of Sub-chapter 19 of the NYC Building Code.
- Remove or relocate all wiring, plumbing, and mechanical equipment affected by removal of partitions. Removed pipes and/or lines shall be cut to a point of concealment behind or below finish surfaces, and shall be properly capped or plugged.
- The Contractor shall provide, erect and maintain all temporary barrier and guards, and all temporary shoring and bracing as required by Department of Building rules and regulations.
- The Contractor shall provide adequate weather protection for the building and its contents during the course of the work. All openings in any wall or roof shall be protected from all forms of weather or water penetration.
- The Contractor shall file all necessary Certificates of Insurance with the Department of Buildings, pay all fees, obtain all permits and provide any and all bonds required by any city agency in order to do the work herein described.
- The Architect and Owner shall have the option of indicating specific removals in addition to those specified herein.
- The General Contractor shall do all cutting, fitting or patching of work that may be required to make all work come together properly and fit to receive or be received by work by other Contractors shown upon, or reasonably implied by the drawings and notes.
- The Contractor shall erect all necessary protection devices, as required by N.Y.C. Building Department and field conditions, to protect adjacent property while demolition and construction are in progress. The Contractor shall provide temporary walls and enclosures, as shown on the drawings or required, to ensure the uninterrupted operation of the premises.

SPECIFICATIONS

1.01 Project Description

- The Project Consists of structural repairs and waterproofing work at 336 East 56th Street in Manhattan. This work shall be carried out at the roof level and in the hallway immediately below. Work includes, but is not limited to: new steel beam, hanger, & plate; new steel ship's ladder; new roofing, bulkhead waterproofing, pitch products, & flashing; leak repair; removal of existing plasterwork & patching with new gypsum board; and installation & joint finishing of new gypsum board beam enclosure. Interior and exterior painting will be done under another contract.

1.02 General Conditions

- AIA Document A201 (latest edition) General Conditions of the Contract for Construction shall govern the work of this Project.

1.03 Project Schedule

- The Contractor shall submit a Project Schedule showing commencement and completion "milestones" for all trades, in addition to other significant events, such as shop drawing preparation and review, etc. The Schedule shall demonstrate the contractor's proposal of how to most expeditiously complete the Project. Demonstrated intent and ability of the bidder to complete the Project in the shortest possible time will be a factor in the award of the Project.

1.04 Project Conditions

- The Project Site is an occupied multi-family dwelling which will remain occupied during the entire course of the Project. The Contractor shall ensure that his operations shall not reduce in any way the safety, security, or habitability of the dwelling units. No work shall be done within the occupied dwelling units. No interruptions shall be made in utility services within the building. All rigging work, deliveries, sidewalk clearance, sidewalk bridging, etc. shall be scheduled with the Building Management.

1.05 Cutting and Patching

- Submit a proposal of intended work for each instance of cutting and patching, work performed. Submit such proposals well in advance of scheduled date of work and obtain Owner and Architect approval before proceeding. Include extent of proposed work, why it cannot be avoided, changes in final finishes of existing construction, proposed products to be used, and duration of the work.
- Inspection. Before performing any cutting and patching work, carefully examine affected areas. Take corrective actions before proceeding if unsafe or unsatisfactory conditions are encountered. Probe concealed areas carefully to determine that cutting work will not disturb any existing utility services, structural members, ducts, piping, wiring, or finishes to remain.
- Execution
 - In general, avoid cutting and patching work entirely, where possible; where unavoidable, limit cutting and patching work to the greatest extent possible, consistent with other requirements.
 - Cut into existing construction using the methods least likely to damage existing construction to remain, and

provide the best possible patched appearance.

- Patch, repair, or rehang ceilings as necessary to provide a uniform, plane surface.

1.06 Shoring

- The Contractor shall be responsible for the design, furnishing, and installation of all shoring work, including required professional engineering fees.

1.07 Cleaning and Protection

- Maintain a neat and tidy jobsite at all times by thoroughly cleaning and removal of rubbish daily during construction.
- Protect completed work from damage during remainder of construction.

5.01 Structural Steel

- Shop Drawings. Submit shop drawings and obtain approval from Architect before fabrication. Include field-verified lengths, details of all connections, and identify all field joints.
- Standards. Comply with AISC Standards for Steel Construction for all structural steel work.
- Products. Grade A36 steel, shop primed after fabrication.

6.01 Lumber

- All lumber used at the level of the top floor ceiling and above shall be pressure treated against decay.

7.01 Roofing & Waterproofing

- Quality Assurance. Upon completion of work on the project, test the watertightness of the roof/interior areas and bulkhead areas and roof penetrations by subjecting these areas to continuous leakage to simulate heavy rainfall (or actual rainfall) for a period of at least 24 hours. Demonstrate to the satisfaction of the Owner and Architect that no water penetration to the interior has occurred. Correct leaking and/or unsatisfactory conditions and re-test as many times as are necessary to achieve a demonstrably watertight condition.

B. Products:

- Replacement roofing for patching: roofing felt with hot-mopped modified bitumen.
- Flashing & pitchpockets: aluminum.
- Sealant & Misc. Leak Repair: modified bitumen roofing cement.
- Re-roofing for bulkhead walls and roof: roofing felt with hot-mopped modified bitumen.

C. Scope:

- Roofing and waterproofing work shall be confined to the following areas:

- Areas disturbed by construction work.
- Entire roof bulkhead, sides, skylight, roof, base flashing & adjacent portion of main roof.

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ISSUE RECORD

Date No. Description

REVISION RECORD

Date No. Description

- New supports penetrating roof or resting on existing construction.
- Other locations as indicated.

D. Execution

- Install new waterproofing products, caulking/joint, etc. to achieve a watertight condition in the areas described under "scope of work", item 7.01.C.1 above.
- Follow manufacturers' printed instructions to install all products used.

9.01 Gypsum Board

- Products: "Firecode X", 5/8th inch thick.
- Execution:
 - Replace existing finishes which are removed with new gypsum board finish.
 - Where new framing to support gypsum board is required, provide nominal "2-by" wood studs, furring, etc. at 24" min. on-center.
 - Finish gypsum board joints ready for prime painting as per board manufacturer's printed instructions.
 - Painting is not included in this contract.

101236191
DEPT. OF BLDGS.

STONEHILL & TAYLOR
ARCHITECTS AND PLANNERS

270 LAFAYETTE STREET, NEW YORK, N.Y. 10012 (212) 226-1006

336 EAST 56th ST.

PROPOSED STRUCTURAL REPAIRS

NOTES + SPECIFICATIONS

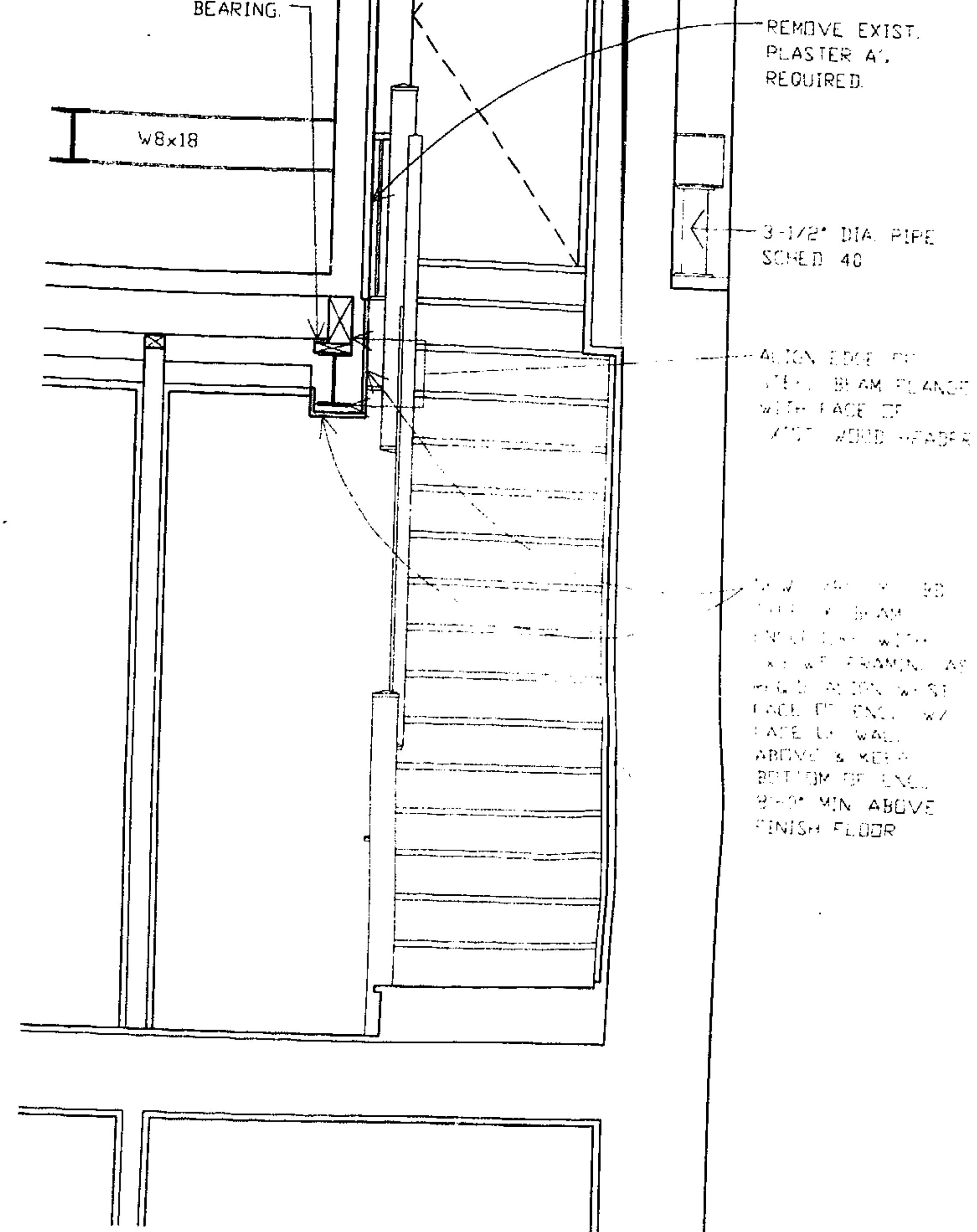
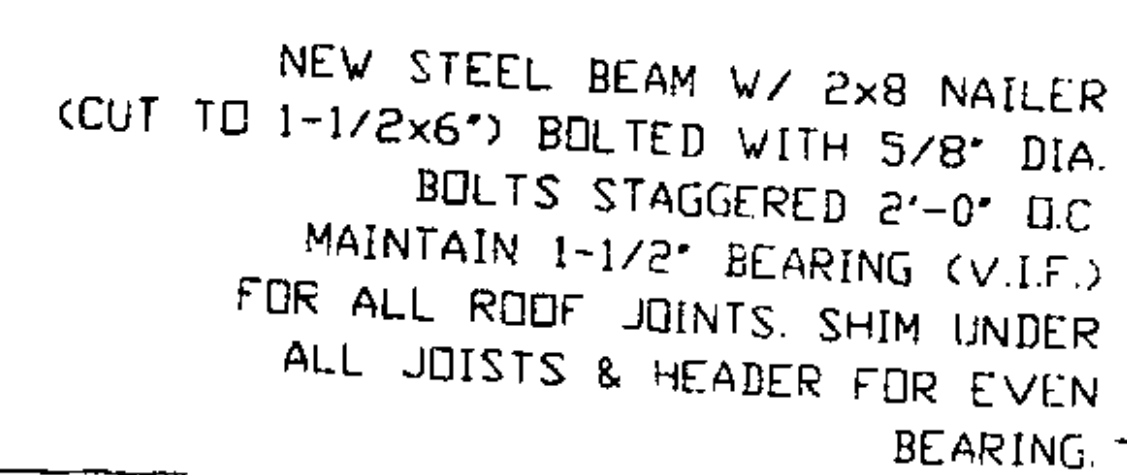
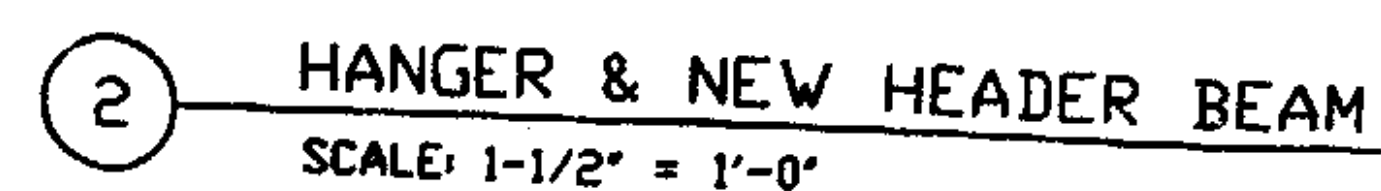
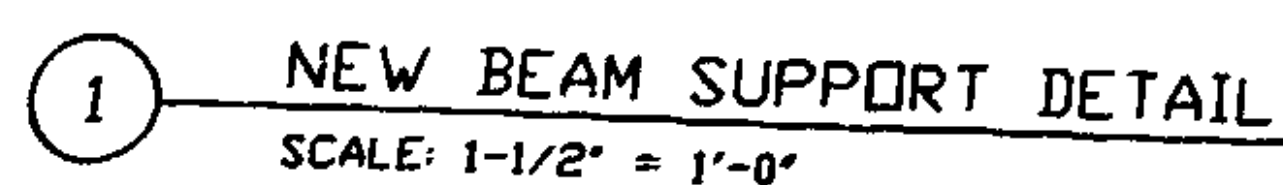
Project No. 9424

Drawn By 12 / 21 / 94

Date

Scale

A3



3 STAIR SECTION
SCALE: 3/4" = 1'-0"

ISSUE RECORD		
Date	No	Description

REVISION RECORD		
Date	No	Description

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DEPT. OF BLDGS.

STONEHILL & TAYLOR
ARCHITECTS AND PLANNERS

270 LAFAYETTE STREET NEW YORK NY 10012 212 226 8899

336 EAST 56th ST.

PROPOSED STRUCTURAL REPAIRS

SECTIONS

GINIO TOPINO
JAN 18 1996
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Project No. 9424
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Scale VARIES

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