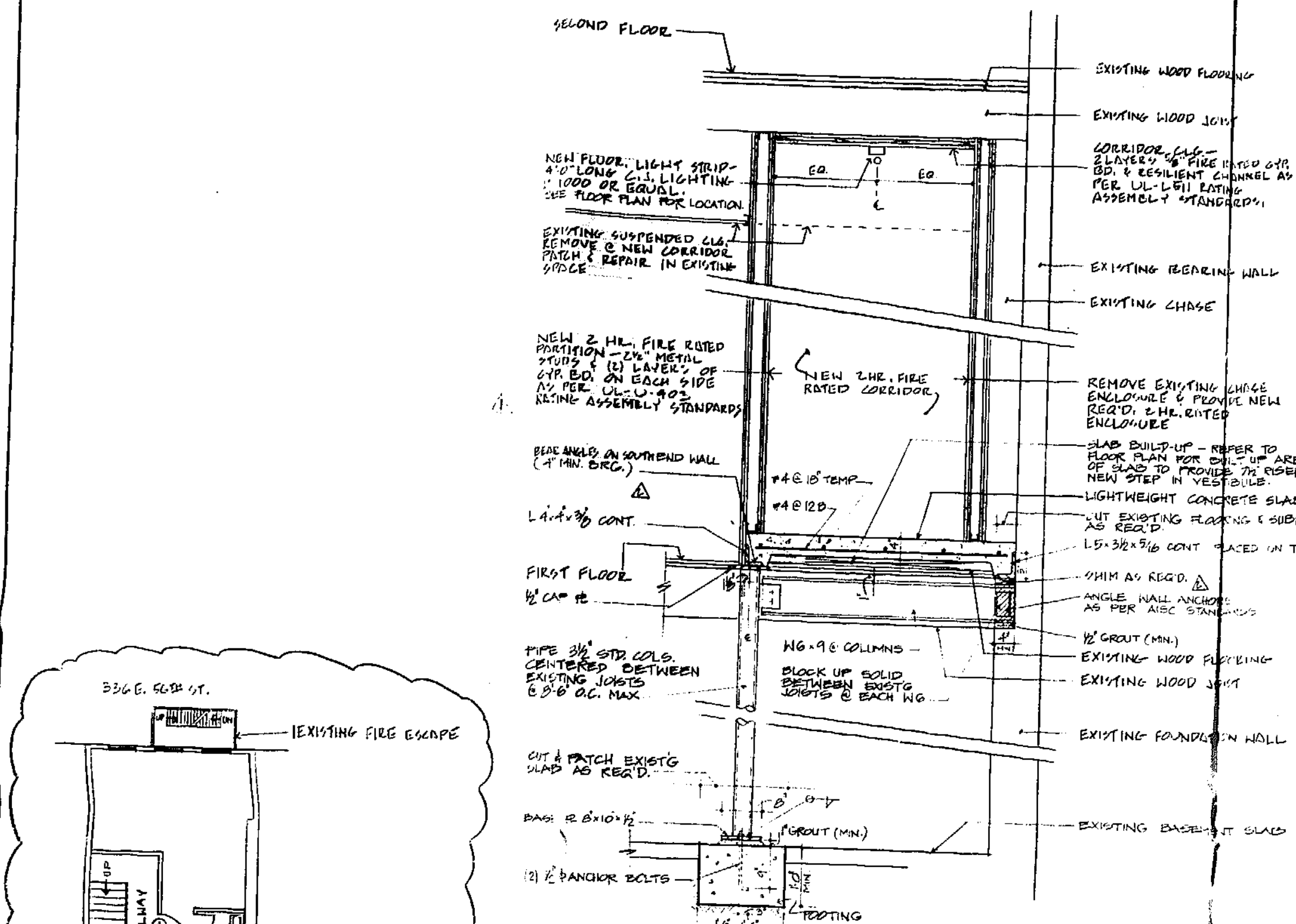
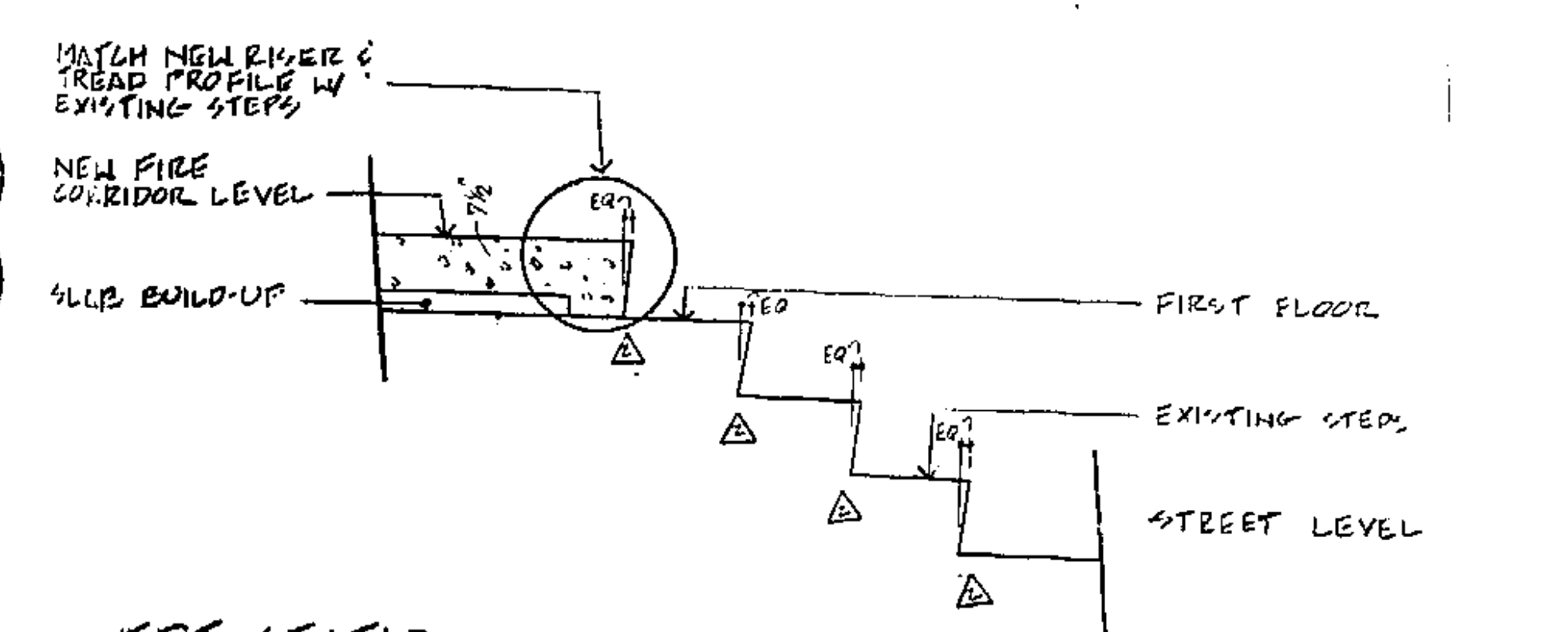


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VERT. SECTION AT NEW 2 HR. FIRE RATED CORRIDOR
1/8" = 1'-0"

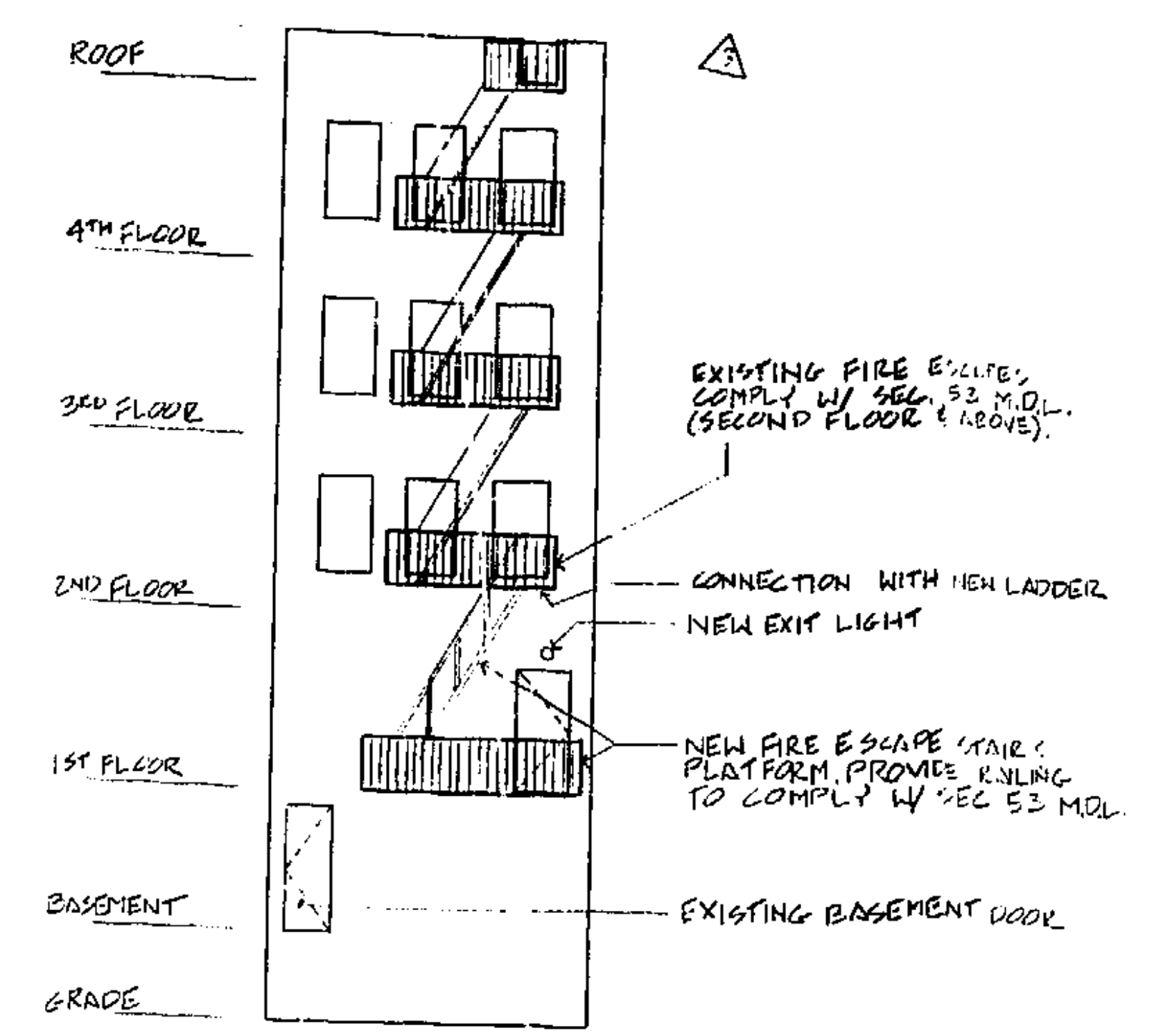
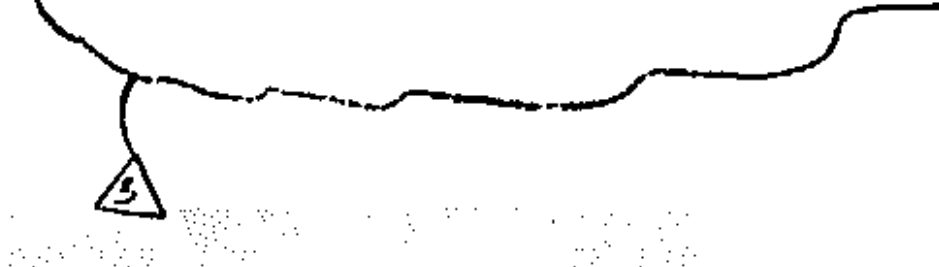
1. SAME AS SECT. B EXCEPT CHASE & BUILD UP FOR SLAB ARE OMITTED
2. 1/4" MIN.



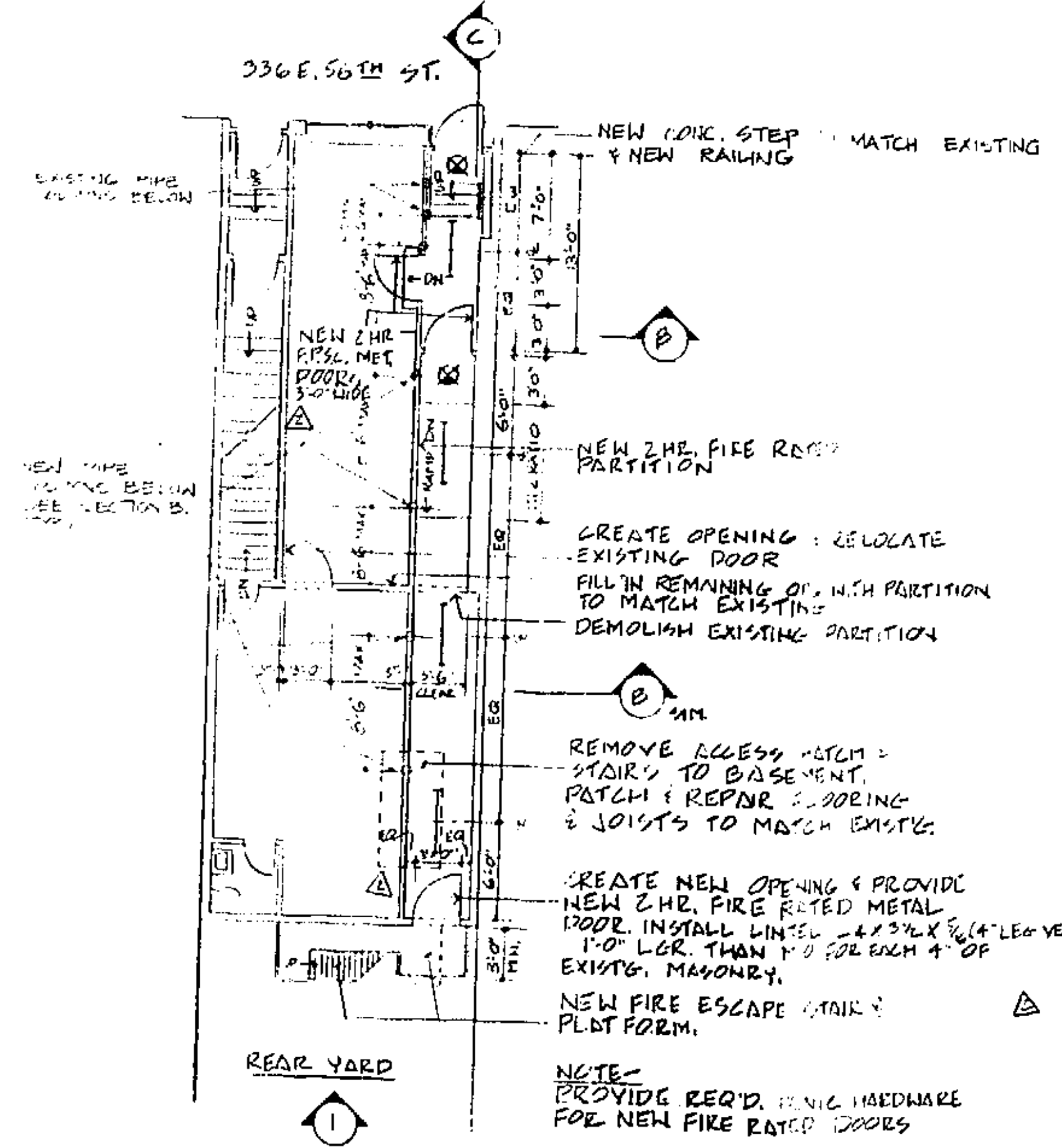
VERT. SECTION AT NEW STAIR RISER
1/8" = 1'-0"

NOTE:
1. ALL CONSTRUCTION IS NEW UNLESS NOTED 'EXISTING'
2. FINE PROOF COLLIMING AND WIG BEAMS AS REQUIRED
3. FOOTINGS TO BEAR ON UNDISTURBED SOIL WITH A BEARING CAPACITY OF ONE (1) TON/100 SQ. FT.
4. PROVIDE STRUCTURAL STEEL SHEAR WALLS FOR REVISION PRIOR TO SUBMITTAL
5. STEEL 1/4" MIN. A 36 (WIDE A 33 TYPE 2)
CONCRETE: 2000 PSI (LT. WT.)

SECOND FLOOR PLAN
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"

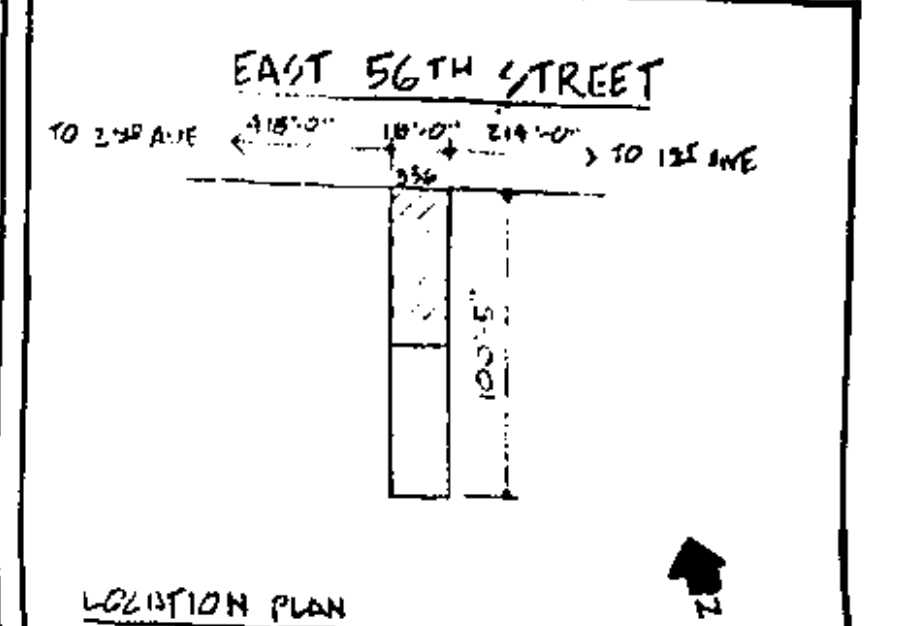


FIRST FLOOR PLAN
1/8" = 1'-0"

LEGEND:
1. INDICATES SECTION OF NEW GLASS WITH FIRE RATED EXIT SIGN.

DEPARTMENT OF BUILDINGS
BROOKLYN MANHATTAN
AT NO. 288/67
ORIGINAL
APPROVED
DATE APR 12 1988

NO.	REVISIONS	DATE
1	NOTE ADDED	2.14.87
2	REVISED AS INDICATED	2.15.87
3	REVISED AS INDICATED	2.21.87



THE EGGERS GROUP P.C.
Architects Planners Interior Designers
240 Ninth Avenue, New York, N.Y. 10001-1007

LOVETT & ROZMAN ASSOCIATES P.C.
Consulting Engineers
432 Park Avenue South, New York, N.Y. 10016

W.M. ASSOCIATES L.P.
336 EAST 56TH STREET
NEW YORK, N.Y.
RECEIVED
DEPARTMENT OF BUILDINGS
MAR 16 1988
CITY OF NEW YORK
BOROUGH OF MANHATTAN

PROPOSED FIRE EXIT FOR
336 E. 56TH ST.
NEW YORK, N.Y.

PROPOSED ARCHITECT
W.M. ASSOCIATES L.P.
336 EAST 56TH STREET
NEW YORK, N.Y.
10001-1007
PROJECT NO. 2062
SCALE AS NOTED
DATE 2/10/1988
DRAWN BY GO
FP-1

LIST OF DRAWINGS

FP-0 GENERAL NOTES

FP-1 PROPOSED FIRE EXIT FOR 336 E. 56th ST., NEW YORK, N.Y.

TENANT SAFETY NOTES

THE ALTERATION APPLICATION REFERENCED ABOVE IS FOR THE RENOVATION OF ONE APARTMENT ONLY, WITHIN A CLASS A MD, CONSISTING OF LUXURY CO-OPERATIVE APARTMENT UNITS.

CONSTRUCTION WORK WILL BE CONFINED TO APT. 6. INTERIOR AND WILL NOT CREATE DUST, DIRT OR OTHER SUCH INCONVENIENCES TO OTHER APARTMENT UNITS WITHIN THE BUILDING.

CONSTRUCTION OPERATION WILL NOT BLOCK HALLWAYS OR MEANS OF EGRESS FOR TENANTS OF THE BUILDING.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL SERVICES TO OTHER TENANTS OF THE BUILDING.

CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 8 A.M. TO 5 P.M. MONDAYS THROUGH FRIDAYS, EXCEPT HOLIDAYS.

ALL WORK TO CONFORM TO HOUSING AND MAINTENANCE CODE.

MULTIPLE DWELLING NOTES

1. THE PREMISES SHALL COMPLY WITH THE PROVISIONS OF ARTICLE 7 OF THE MULTIPLE DWELLING LAW (MDL), FOR AND WITH ALL APPLICABLE MULTIPLE DWELLING RULES AND REGULATIONS.

2. PREMISES TO COMPLY WITH SEC 26 (7A) MDL: HEIGHT, BULK, OPEN SPACES.

3) PROPER LIGHTING SHALL BE PROVIDED FOR ALL COURTS AND YARDS, WITH EACH LIGHT AT LEAST 40 WATTS, OR EQUIVALENT.

3. PREMISES TO COMPLY WITH SEC 33 MDL: COOKING SPACES:

a) CEILINGS AND WALLS, EXCLUSIVE OF DOORS SHALL BE FIRE-RETARDED.

b) ALL COMBUSTIBLE MATERIAL IMMEDIATELY UNDERNEATH OR WITHIN ONE FOOT OF ANY COOKING APPARATUS SHALL BE FIRE-RETARDED OR COVERED WITH ARRESTOR AT LEAST 3/16" IN THICKNESS AND 26 GAUGE SHEET METAL, OR WITH FIRE RESISTIVE MATERIAL OF EQUIVALENT RATING.

c) THERE SHALL ALWAYS BE AT LEAST TWO FEET OF CLEAR SPACE ABOVE ANY EXPOSED COOKING SURFACE.

4) PREMISES TO COMPLY WITH SEC 37 MDL: ARTIFICIAL HALL LIGHTING.

a) EVERY VESTIBULE, STAIRS AND PUBLIC HALLS SHALL BE PROVIDED WITH LIGHTS, EACH OF AT LEAST 40 WATTS, INCANDESCENT OR 25 WATTS FLUORESCENT.

5) PREMISES TO COMPLY WITH SEC 30-a MDL: ENTRANCE: DOORS, LOCKS AND INTER-COMMUNICATION SYSTEM.

a) BUILDING ENTRANCES AND ALL OTHER ENTRANCES SHALL BE EQUIPPED WITH APPROVED TYPE AUTOMATIC, SELF-CLOSING AND SELF-LOCKING UNITS.

b) EVERY CLASS "A" NO CONTAINING EIGHT OR MORE APARTMENTS SHALL BE EQUIPPED WITH AN APPROVED TYPE INTERCOMMUNICATION SYSTEM LOCATED AT AN AUTOMATIC SELF-LOCKING DOOR, GIVING ACCESS TO MAIN ENTRANCE HALL OR LOBBY.

6) PREMISES TO COMPLY WITH SEC 51 MDL: SHAFTS, ELEVATOR AND DUMBWAITERS.

a) PERPHOLES TO BE PROVIDED IN THE INTERVIEWERS AT ALL APARTMENT DOORS PER SEC 51.

b) MIRRORS SHALL BE PROVIDED IN PASSENGER ELEVATOR PER SEC 51-b.

7) PREMISES TO COMPLY WITH SEC 64 MDL: LIGHTING, GAS METERS; GAS

a) GAS RANGES TO BE A.G.A. OR BSA APPROVED.

8) PREMISES TO COMPLY WITH SEC 76 MDL: WATER-CLOSET AND BATH ACCOMMODATIONS.

a) THE FLOOR OF EVERY BATHROOM SHALL BE MADE WATERPROOF WITH MATERIAL APPROVED BY THE DEPARTMENT, AND SUCH WATERPROOFING SHALL EXTEND SIX INCHES OR MORE ABOVE THE FLOOR, EXCEPT AT DOORS.

b) THE WALLS OF EVERY BATHROOM SHALL BE MADE OF WATER RESISTANT GYPSUM BOARD, (BSA CAL 685-39 SM) FIVE IN AREA CAN SHALL BE MADE SO THAT HALF OF ITS AREA CAN BE READILY OPENED, OR SHALL BE EQUIPPED WITH MECHANICAL VENTILATION.

9) PREMISES TO COMPLY WITH SEC 77 MDL: PLUMBING AND DRAINAGE.

a) ALL COURTS, ROOFS, YARDS, AND AREA WAYS SHALL BE PROPERLY DRAINED.

10) THE PREMISES SHALL COMPLY WITH THE FOLLOWING SECTIONS OF THE MULTIPLE DWELLING LAW.

SECTION 29: PAINTING OF COURTS AND SHAFTS

SECTION 31: SIZE OF ROOMS

SECTION 34: ROOMS IN BASEMENT AND CELLAR

SECTION 32: STAIRS

SECTION 53: FIRE-ESCAPES

SECTION 57: BELLS, MAIL RECEPTACLES

SECTION 58: INCOMBUSTIBLE MATERIAL

SECTION 62: PARAPETS, GUARD RAILINGS

SECTION 76: WATER SUPPLY

SECTION 78: REPAIRS

SECTION 79: HEATING

SECTION 80: CLEANLINESS

SECTION 81: RECEPTACLES FOR WASTE MATTER

SECTION 83: JANITOR OR HOUSEKEEPER

SECTION 211: HEIGHT AND BULK

SECTION 212: YARDS AND COURTS

SECTION 213: LIGHTING AND VENTILATION

SECTION 214: SIZE OF ROOMS

SECTION 215: ALCOVES

SECTION 216: ROOMS IN BASEMENT AND CELLAR

SECTION 217: LIGHTING AND VENTILATION OF PUBLIC STAIRS

SECTION 218: ALTERATIONS

SECTION 230: CHIMNEYS AND FIREPLACES

SECTION 231: EGRESS

SECTION 232: FIRE ESCAPES

SECTION 233: BULKHEADS AND SCUTTLERS

SECTION 234: STAIRS AND PUBLIC HALLS

SECTION 235: STAIRS IN NON-FIREPROOF TENEMENTS

SECTION 237: STAIR CONSTRUCTION

SECTION 238: STAIR AND ENTRANCE HALL

SECTION 240: FIRST TIER OF BEAMS

SECTION 241: PARTITIONS; FIRESTOPPING

SECTION 242: CELLAR AND BASEMENT STAIRS IN NON-FIREPROOFING TENEMENTS.

SECTION 244: SPACES UNDER STAIRS

SECTION 245: CELLAR ENTRANCE

HOUSING MAINTENANCE CODE NOTES

1. ENTRANCE DOORS TO EACH UNIT SHALL BE PROVIDED WITH PERPHOLES AS PER SEC D-26-20.01 HMC, AND HEAVY DUTY SOCKETS AND CHAIN SAFEGUARDS AS PER D 26-20.05 HMC.

2. SIGN DESIGNATIONS EACH FLOOR SHALL BE PROVIDED AS PER LOCAL LAW # 84/1955 AND SEC D-26-20.03 HMC.

3. SMOKE DETECTORS SHALL BE PROVIDED IN ACCORDANCE WITH C-26-1705.0 OF THE BUILDING CODE, AS PER D 26-20.03 HMC.

4. LIGHTING AND VENTILATION OF LIVING ROOMS COMPLY WITH SEC D26-30.05 HMC FOR OLD LAW TENEMENTS.

5. ALL BATHROOM FLOORS SHALL BE MADE WATERPROOF WITH MATERIAL APPROVED BY THE DEPARTMENT. WATERPROOFING MATERIAL TO EXTEND SIX INCHES ABOVE THE FLOOR, MINIMUM, AT WALL BASE PER D26-32.03 HMC.

6. IN KITCHEN AREAS, ALL COMBUSTIBLE MATERIALS IMMEDIATELY UNDERNEATH OR WITHIN ONE FOOT OF COOKING APPARATUS SHALL BE FIRE-RETARDED. THERE SHALL BE AT LEAST TWO FEET OF CLEAR SPACE ABOVE ANY EXPOSED COOKING SURFACE. KITCHEN WALLS AND CEILING SHALL BE FIRE-RETARDED. ALL AS PER SEC D 26-32.05 HMC.

7. OWNER TO FILE REGISTRATION STATEMENT AS PER ARTICLE 41 HMC.

8. PREMISES TO COMPLY WITH THE FOLLOWING ARTICLE OF THE HOUSING MAINTENANCE CODE:

ARTICLE 17 HMC HEAT AND HOT WATER

18 HMC GAS APPLIANCES

19 HMC ARTIFICIAL LIGHTING

20 HMC PROTECTIVE DEVICES AND FIRE PROTECTION

21 HMC MISCELLANEOUS SERVICES AND FACILITIES

22 HMC JANITORIAL SERVICE

31 HMC SANITARIAL FACILITIES

32 HMC KITCHENS

9. THE PREMISES SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF THE HOUSING MAINTENANCE CODE, TITLE D 26, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

D26-10.01 DUTIES OF THE OWNER

D26-10.03 DUTIES OF THE TENANT

D26-11.05 CLEARING OF INTERIOR DWELLING UNITS

D26-12.01 PAINTING OF PUBLIC PARTS WITHIN UNITS

D26-13.05 RODENT AND INSECT ERADICATION

D26-13.05 ELIMINATION OF HARBORAGES

D26-14.03 FREQUENCY OF COLLECTION OF WASTE MATTER FROM DWELLING UNITS IN MULTIPLE DWELLINGS

D26-15.01 WATER SUPPLY TO BUILDINGS

D26-15.03 WATER SUPPLY TO INDIVIDUAL UNITS AND FIXTURES

D26-16.01 MAINTENANCE OF SEWER CONNECTIONS AND PLUMBING FIXTURES

D26-16.03 DRAINAGE OF ROOFS AND COURT YARDS

D26-17.03 MINIMUM TEMPERATURE TO BE MAINTAINED

D26-17.05 SELF-INSPECTION OF GAS APPLIANCES

D26-17.07 SUPPLY OF HOT WATER, WHEN REQUIRED

D26-17.09 GAS FUELED, OR ELECTRIC HEATERS

D26-18.05 SELF-INSPECTION OF GAS APPLIANCES

D26-30.01 LIGHTING AND VENTILATION IN MULTIPLE DWELLINGS, GENERAL REQUIREMENTS

D26-31.07 SANITARY FACILITIES IN APARTMENTS

D26-32.01 FACILITIES AND EQUIPMENT FOR KITCHENS AND KITCHENETTES

D26-32.03 LIGHTING AND VENTILATION FOR KITCHENS AND KITCHENETTES

D26-32.05 FIRE PROTECTION FOR KITCHENS AND KITCHENETTES

CONTROLLED INSPECTIONS REQUIRED:

FIRESTOPPING 27-345

STABILITY & INTEGRITY: AS PER RULES &

REGULATIONS DATED

10/15/82.

CELEST
10/15/82
NEW YORK
NEW YORK

W.M. ASSOCIATES L.P.
336 EAST 56TH STREET
NEW YORK, N.Y.

DEPARTMENT OF
BUILDINGS
BOROUGH MANHATTAN

APR NO. 200/82

SHEETS FILED

ORIGINAL

APPROVED

DATE APR 12 1989

HARVEY

GENERAL NOTES FOR

PROPOSED FIRE EXIT FOR

336 E. 56th ST.

NEW YORK, N.Y.

PROJECT NO. 2882

SCALE AS NOTED

DATE 3/1/1989

DRAWING NO. FP-0